



# NOTICE OF FIRST READING ZONING AMENDMENT BYLAW 4500.230

Notice is hereby given pursuant to sections 464(3) and 467 of the *Local Government Act* that a public hearing is prohibited for proposed Zoning Amendment Bylaw 4500.230 as the bylaw is consistent with the Official Community Plan (City Plan), and the sole purpose of the bylaw is to permit a development that is, in whole or in part, a residential development where the residential component of the development accounts for at least half of the gross floor area of all buildings and other structures proposed as part of the development. Council will consider first reading of the proposed bylaw on Monday, July 22, 2024, in the Shaw Auditorium at the Vancouver Island Conference Centre at 80 Commercial Street, Nanaimo, BC.

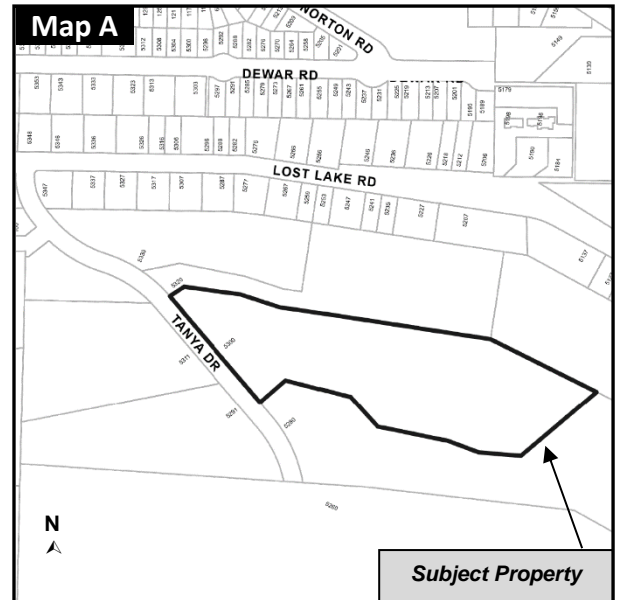
## BYLAW NO. 4500.230

**Location:** 5300 Tanya Drive, as shown on Map A

**File No.:** Rezoning Application – RA000487

To rezone the subject property from Urban Reserve (AR2) to Steep Slope Residential (R10) with a site-specific density of 24 units per hectare.

The subject property is legally described as:  
LOT 4, DISTRICT LOT 55, WELLINGTON DISTRICT, PLAN 47120



A copy of the proposed bylaw and related information is available online at: [www.nanaimo.ca/whatsbuilding/Folder/RA00087](http://www.nanaimo.ca/whatsbuilding/Folder/RA00087) and may be inspected in-person from July 11, 2024 to July 22, 2024, 8:00am to 4:30pm, Monday through Friday (excluding statutory holidays), at the City of Nanaimo Service and Resource Centre at 411 Dunsmuir Street.

**City of Nanaimo | Planning & Development  
Service and Resource Centre, 411 Dunsmuir Street  
(250) 755-4429 | [www.nanaimo.ca](http://www.nanaimo.ca)**